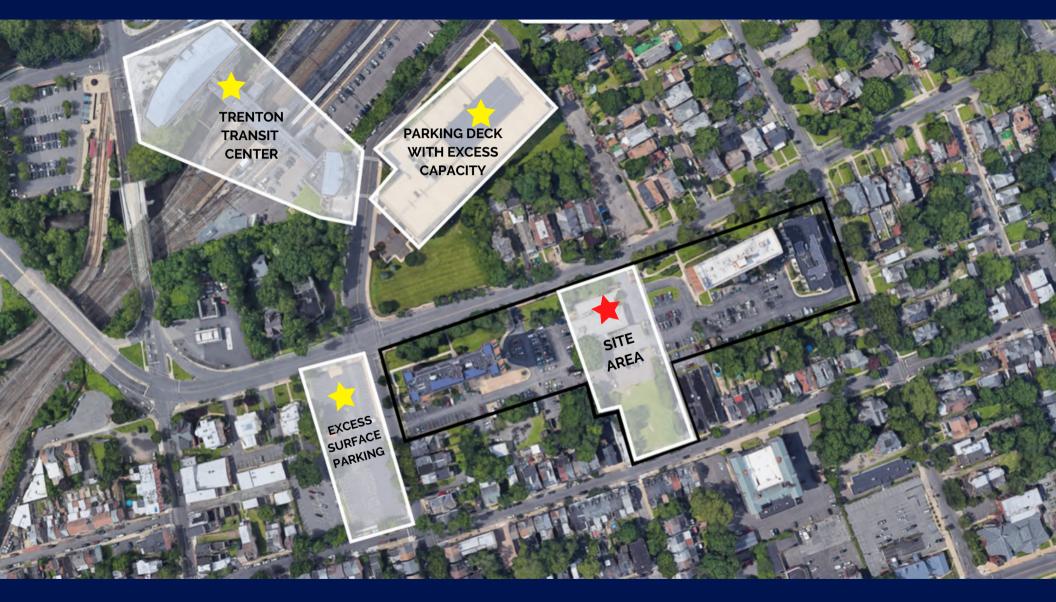
Transit Oriented Development

A 1.64 Acre Multi-Family/Mixed Use Development Opportunity

501 Greenwood Avenue Trenton, NJ





Anne LaBate President 609-392-7557 x 114 Anne@Segal-LaBate.com See All Offerings Website Sales & Lease www.Segal-LaBate.com

The Offering

Site Summary



Potential Floor Area Ratio Current Neighboring Buildings: Trent Center West: 2.31 Trent Center East: 1.76 Project Freedom: 1.71

Potential Incentives



Redevelopment tax incentives may be available through the Federal Opportunity Zone Program, the SBA Hub Zone Program and the New Jersey Economic Development Authority.

Development Highlights

- Unique development site within existing gated
 multi-family community
- Transit-oriented: quick access to PA & NYC
- Parking: Potential collaboration with transit center parking deck with strong existing capacity
- High density multi-family project possible
- Possibility for retail on ground floor, benefitting from existing and future tenants
 - Site benefits from approx. 200 daily trains on weekdays and 150 daily trains on weekends

SITE LOCATION



Visit www.segal-labate.com to see our full portfolio To book a viewing call Anne LaBate at 609-394-7557 x 144 Or email anne@segal-labate.com

