

# Transit Oriented Development

A 1.64 Acre Multi-Family/Mixed Use Development Opportunity

501 Greenwood Avenue  
Trenton, NJ



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# The Offering

## Site Summary



Address

499 Greenwood Avenue  
Trenton, NJ



Property  
Type

Multi-Family/Retail/Mixed Use  
Development Opportunity



Site Area

1.63 Acres



Potential  
Unit  
Density

Current Neighboring  
Buildings Range from  
70-140 Units/Acre



Potential  
Floor Area  
Ratio

Current Neighboring Buildings:  
Trent Center West: 2.31  
Trent Center East: 1.76  
Project Freedom: 1.71

## Potential Incentives



Redevelopment tax incentives may be available through the Federal Opportunity Zone Program, the SBA Hub Zone Program and the New Jersey Economic Development Authority.

## Development Highlights

- Unique development site within existing gated multi-family community
- Transit-oriented: quick access to PA & NYC
- Parking: Potential collaboration with transit center parking deck with strong existing capacity
- High density multi-family project possible
- Possibility for retail on ground floor, benefitting from existing and future tenants
  - Site benefits from approx. 200 daily trains on weekdays and 150 daily trains on weekends

# SITE LOCATION

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To book a viewing call Anne LaBate at 609-394-7557 x 144  
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